



TOWN OF CARLISLE - 1110 WESTFORD STREET

1110 WESTFORD STREET
 CARLISLE, MA 01741
 MIDDLESEX COUNTY

PROJECT TYPE: WIRELESS TELECOMMUNICATIONS
 INSTALLATION ON PROPOSED 130' MONOPOLE

SITE INFORMATION:

LAND OWNER: TOWN OF CARLISLE
 66 WESTFORD STREET
 CARLISLE, MA 01741

APPLICANT: TOWN OF CARLISLE
 66 WESTFORD STREET
 CARLISLE, MA 01741

SITE ADDRESS: 1110 WESTFORD STREET
 CARLISLE, MA 01741

COUNTY: MIDDLESEX

LATITUDE: N 42°-32'-07.82"

LONGITUDE: W 71°-23'-15.72"

ZONING CLASSIFICATION: RESIDENTIAL B

ZONING JURISDICTION: TOWN OF CARLISLE, MA

TAX ID PARCEL NUMBER: 18-40-0

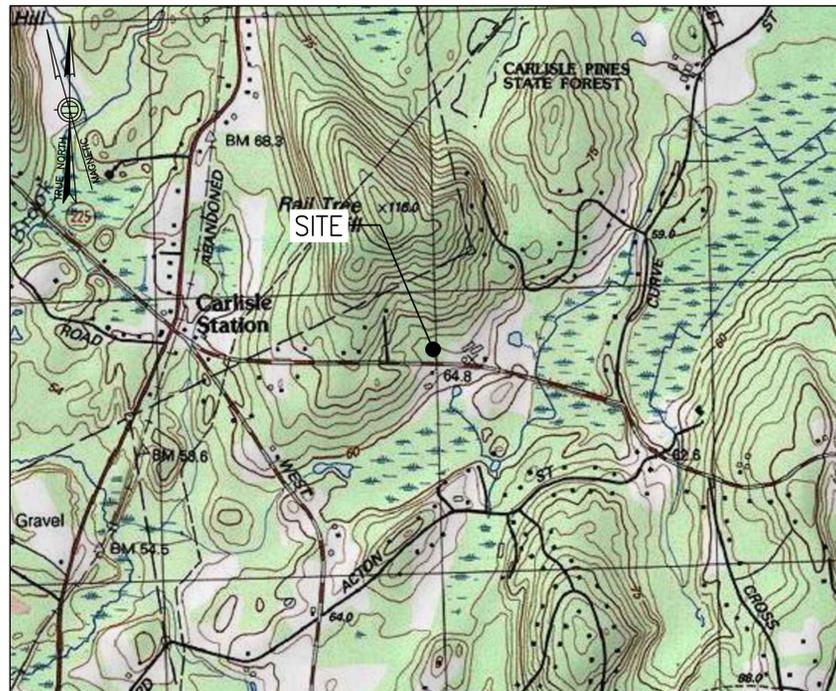
ARCHITECT / ENGINEER: CHAPPELL ENGINEERING ASSOCIATES, LLC
 201 BOSTON POST ROAD WEST, SUITE 101
 MARLBOROUGH, MA 01752

POWER COMPANY: NSTAR ELECTRIC COMPANY
 ONE NSTAR WAY
 WESTWOOD, MA 02090
 (888)633-3797

TELEPHONE COMPANY: VERIZON
 185 FRANKLIN STREET
 BOSTON, MA 02107
 (800)941-9900

VICINITY MAP

SCALE: 1"=1000'



DRIVING DIRECTIONS

FROM MARLBOROUGH TAKE I-495 NORTH TO EXIT 32 BOSTON ROAD TOWARD WESTFORD. TURN RIGHT ONTO BOSTON ROAD, SIGNS FOR MA-225. TURN LEFT TO CONTINUE ON MA-225 EAST. SITE WILL BE ON THE LEFT.

SHEET INDEX

DWG.	DESCRIPTION	REV.
T01	TITLE SHEET	2
C01	PROPERTY PLAN	2
C02	TREE REMOVAL & GRADING PLAN	2
A01	SITE PLAN & ELEVATION	2
A02	ANTENNA & SITE DETAILS	2
EC01	EROSION CONTROL PLAN, DETAILS & NOTES	2

DO NOT SCALE DRAWINGS

CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE PROJECT OWNER'S REPRESENTATIVE IN WRITING OF DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

PROJECT DESCRIPTION

1. THIS IS AN UNMANNED AND RESTRICTED ACCESS INSTALLATION AND WILL BE USED FOR THE TRANSMISSION OF RADIO SIGNAL FOR THE PURPOSE OF PROVIDING PUBLIC WIRELESS TELECOMMUNICATIONS SERVICE.
2. THIS FACILITY WILL CONSUME NO UNRECOVERABLE ENERGY.
3. NO POTABLE WATER SUPPLY IS TO BE PROVIDED AT THIS LOCATION.
4. NO WASTE WATER WILL BE GENERATED AT THIS LOCATION.
5. NO SOLID WASTE WILL BE GENERATED AT THIS LOCATION.

PERMITTING DRAWINGS

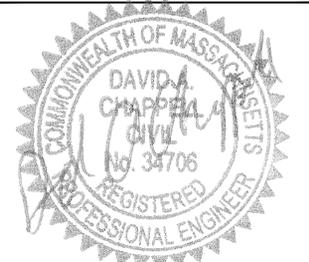
(NOT FOR CONSTRUCTION)



702 RIVERWOOD DRIVE
 PEMBROKE, NH 03275



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 MARLBOROUGH, MA 01752
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ENGINEER/LAND SURVEYOR DATE

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REVISIONS

NO.	DESCRIPTION	DATE
A	ISSUED FOR REVIEW	06/27/19
0	ISSUED FOR PERMITTING	07/01/19
1	ISSUED FOR SUBMISSION	07/02/19
2	ISSUED FOR SUBMISSION	07/23/19

PROJECT NAME:

TOWN OF CARLISLE
 1110 WESTFORD STREET
 1110 WESTFORD STREET
 CARLISLE, MA 01741

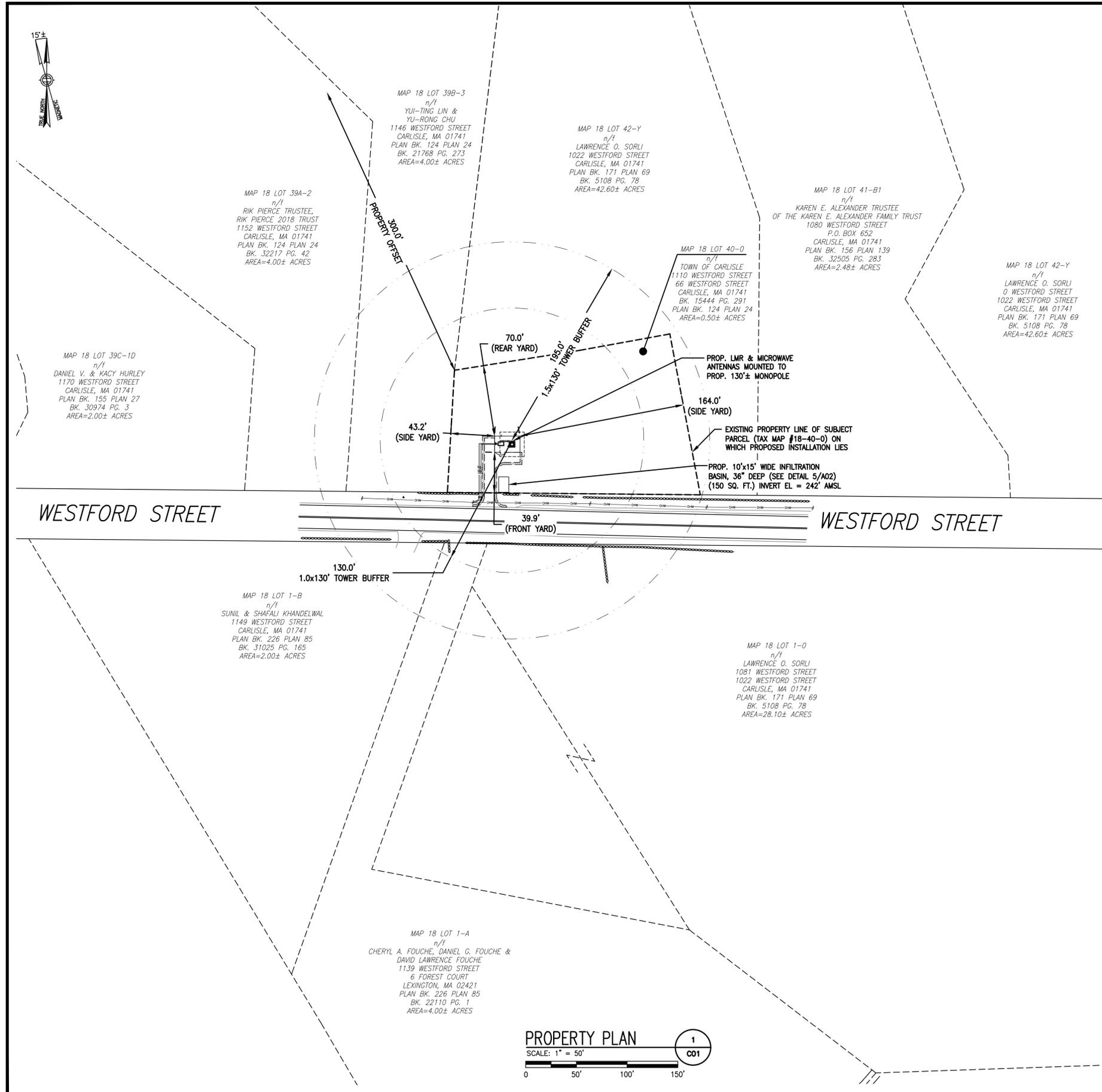
DRAWING TITLE:

TITLE SHEET

DRAWING NO.:

T01

SCALE: AS SHOWN	DESIGNED BY: JMF DRAWN BY: JRY CHECK'D BY: JMF	SHEET NO. 1 OF 6
PROJECT NO. 754.100	ORIGINAL ISSUE DATE: 06/27/19	



- ### GENERAL NOTES:
- INITIAL DESIGN VISIT DATE: 05/15/19
 - FIELD SURVEY DATE: 06/20/19
 - VERTICAL DATUM: NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD '88)
 - HORIZONTAL DATUM: NORTH AMERICAN DATUM OF 1983 (NAD '83)
 - SITE CONTROL POINT: CENTER OF PROP. MONOPOLE
LATITUDE: N.42°-32'-07.82" (NAD '83)
LONGITUDE: W.71°-23'-15.72" (NAD '83)
 - LAND OWNER: TOWN OF CARLISLE
66 WESTFORD STREET
CARLISLE, MA 01741
 - APPLICANT SITE NAME: TOWN OF CARLISLE - 1110 WESTFORD STREET
 - SITE ADDRESS: 1110 WESTFORD STREET
CARLISLE, MA 01741
 - APPLICANT: TOWN OF CARLISLE
66 WESTFORD STREET
CARLISLE, MA 01741
 - JURISDICTION: TOWN OF CARLISLE, MA
 - TAX ID: 18-40-0
 - DEED REFERENCE: BK. 15444 PG. 291
 - PLAN REFERENCES: TOWN OF CARLISLE ASSESSOR/GIS MAPS
 - ZONING JURISDICTION: RESIDENTIAL B
 - ALL UNDERGROUND UTILITY INFORMATION PRESENTED HEREON WAS DETERMINED FROM SURFACE EVIDENCE AND PLANS OF RECORD. ALL UNDERGROUND UTILITIES SHOULD BE LOCATED IN THE FIELD PRIOR TO THE COMMENCEMENT OF ANY SITE WORK. CALL DIGSAFE 1-888-344-7233 A MINIMUM OF 72 HOURS PRIOR TO PLANNED ACTIVITY.
 - THE PROPERTY LINES SHOWN WERE COMPILED UTILIZING TOWN OF CARLISLE ASSESSOR'S PLANS, RECORDED DEEDS AND PLANS OF REFERENCE AS INDICATED. A COMPLETE BOUNDARY SURVEY WAS NOT UTILIZED IN THE PREPARATION OF THESE PLANS.
 - THE SITE IS LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON FLOOD INSURANCE RATE MAP FOR THE TOWN OF CARLISLE, COMMUNITY PANEL 25017C MAP 0242F DATED 7/7/2014.
 - BEARING SYSTEM OF THIS PLAN IS BASED ON GRID NORTH. GRID NORTH WAS ESTABLISHED FROM GPS OBSERVATIONS. IT IS NOT INTENDED TO BE AN EXACT REPRESENTATION OF TRUE NORTH.

LEGEND

	EXISTING ROW/EASEMENT
	TREELINE
	PROPOSED TOWER OFFSET LINE
	WETLAND HAZARD OVERLAY (TOWN/MA DEP)
	FIELD DELINEATED WETLAND
	PUBLIC ROW
	PROPERTY LINE
	ABUTTING PROPERTY LINE
	EXIST. EASEMENT
	PROPERTY OFFSET LINE
	EXIST. CHAIN LINK FENCE
	EXIST. STOCKADE FENCE
	ZONING BOUNDARY
	TOWN LINE
	EXIST. EDGE OF PAVEMENT
	EXIST. OVERHEAD UTILITIES
	PROP. OVERHEAD UTILITIES
	UTILITIES
	EXIST. UTILITY POLE
	DRILL HOLE
	STONE/CONC. BOUND

ZONING INFORMATION

ZONING DISTRICT:		RES. B	
DESCRIPTION	REQUIRED	EXISTING	PROP.
MIN. LOT AREA:	N/A	N/A	N/A
MIN. LOT FRONTAGE:	250'	249.47±	N/A
PROPERTY SETBACKS			
FRONT	40'	N/A	39.9'±
SIDE (RIGHT)	40'	N/A	164.0'±
SIDE (LEFT)	40'	N/A	43.2'±
REAR	40'	N/A	70.0'±
MAX. HEIGHT	45'	N/A	139.0'±

NOTE:
1. PROP. SETBACKS ARE TAKEN FROM THE CLOSEST POINT FROM EQUIPMENT/ANTENNAS/TOWER TO PROPERTY LINES.

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PROJECT NAME:
**TOWN OF CARLISLE
1110 WESTFORD STREET**

1110 WESTFORD STREET
CARLISLE, MA 01741

DRAWING TITLE:
PROPERTY PLAN

DRAWING NO:
C01

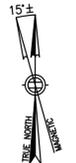
SCALE:	DESIGNED BY: JMF	SHEET NO.
1" = 50'	DRAWN BY: JRV	2 OF 6
PROJECT NO.	CHECK'D BY: JMF	
754.100	ORIGINAL ISSUE DATE:	
	06/27/19	

PROPERTY PLAN

SCALE: 1" = 50'

0 50' 100' 150'

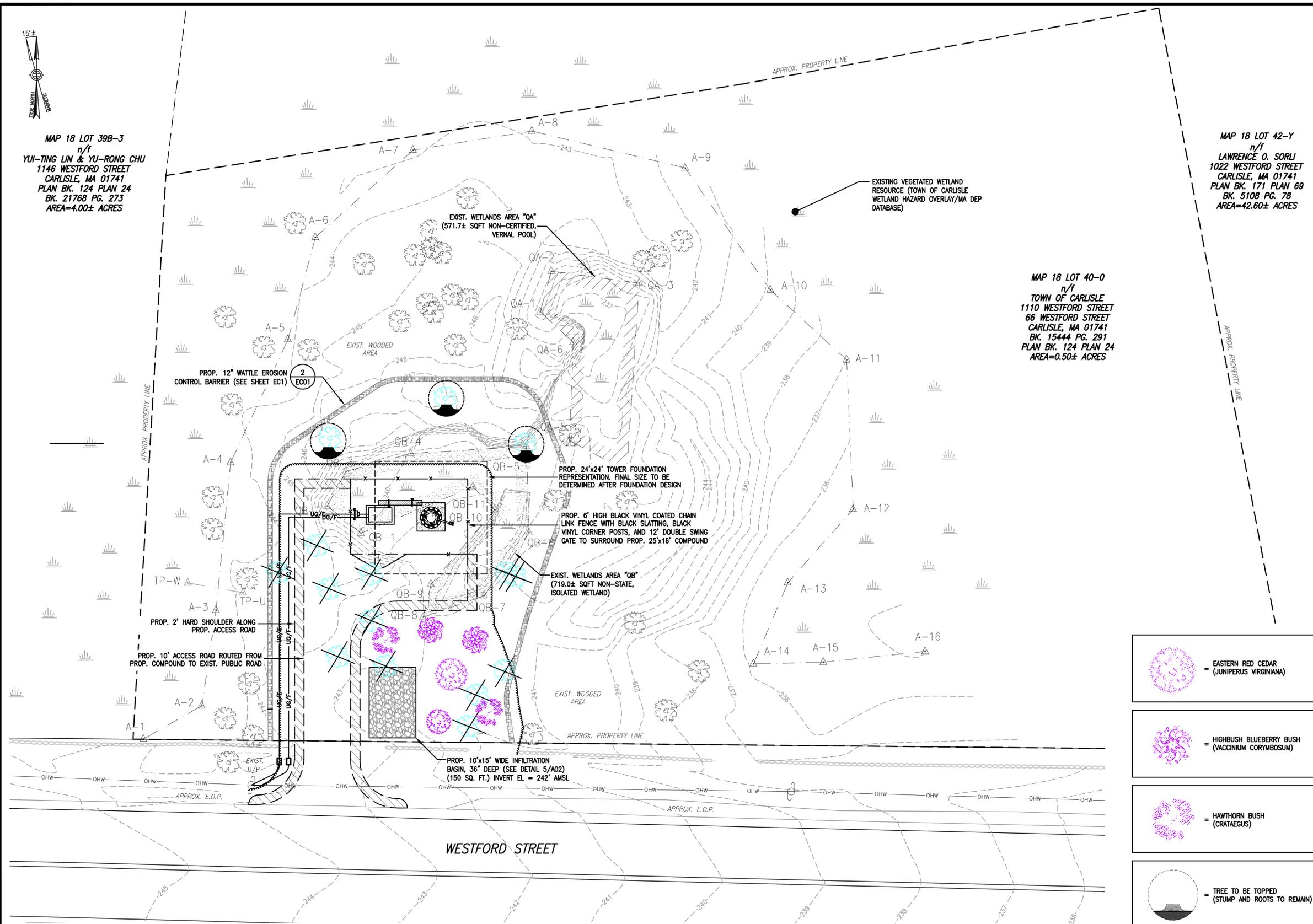
1
C01



MAP 18 LOT 39B-3
n/f
YUI-TING LIN & YU-RONG CHU
1146 WESTFORD STREET
CARLISLE, MA 01741
PLAN BK. 124 PLAN 24
BK. 21768 PG. 273
AREA=4.00± ACRES

MAP 18 LOT 42-Y
n/f
LAWRENCE O. SORLI
1022 WESTFORD STREET
CARLISLE, MA 01741
PLAN BK. 171 PLAN 69
BK. 5108 PG. 78
AREA=42.60± ACRES

MAP 18 LOT 40-0
n/f
TOWN OF CARLISLE
1110 WESTFORD STREET
66 WESTFORD STREET
CARLISLE, MA 01741
BK. 15444 PG. 291
PLAN BK. 124 PLAN 24
AREA=0.50± ACRES



CONTRACTOR TO REMOVE

- ALL TOP SOIL (LOAM) & LARGE ROCKS (LARGER THAN 1 CUBIC FOOT), UNLESS THERE IS A LEDGE, WITHIN 4FT OF FINISH GRADE OF DRIVEWAY
- ALL STUMPS, ROOTS, & TREES WITHIN 4FT OF DRIVEWAY
- ALL LIMBS LOWER THAN 14FT OF TREES ALONG SIDE OF DRIVEWAY

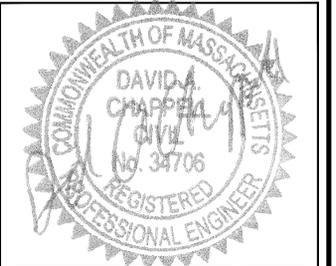
TREE REMOVAL & GRADING PLAN 1
SCALE: 1" = 10'
C01

- = EASTERN RED CEDAR (JUNIPERUS VIRGINIANA)
- = Highbush Blueberry Bush (VACCINIUM CORYMBOSUM)
- = Hawthorn Bush (CRATAEGUS)
- = TREE TO BE TOPPED (STUMP AND ROOTS TO REMAIN)
- = TREE TO BE REMOVED (LARGER THAN 6" CALIPER)

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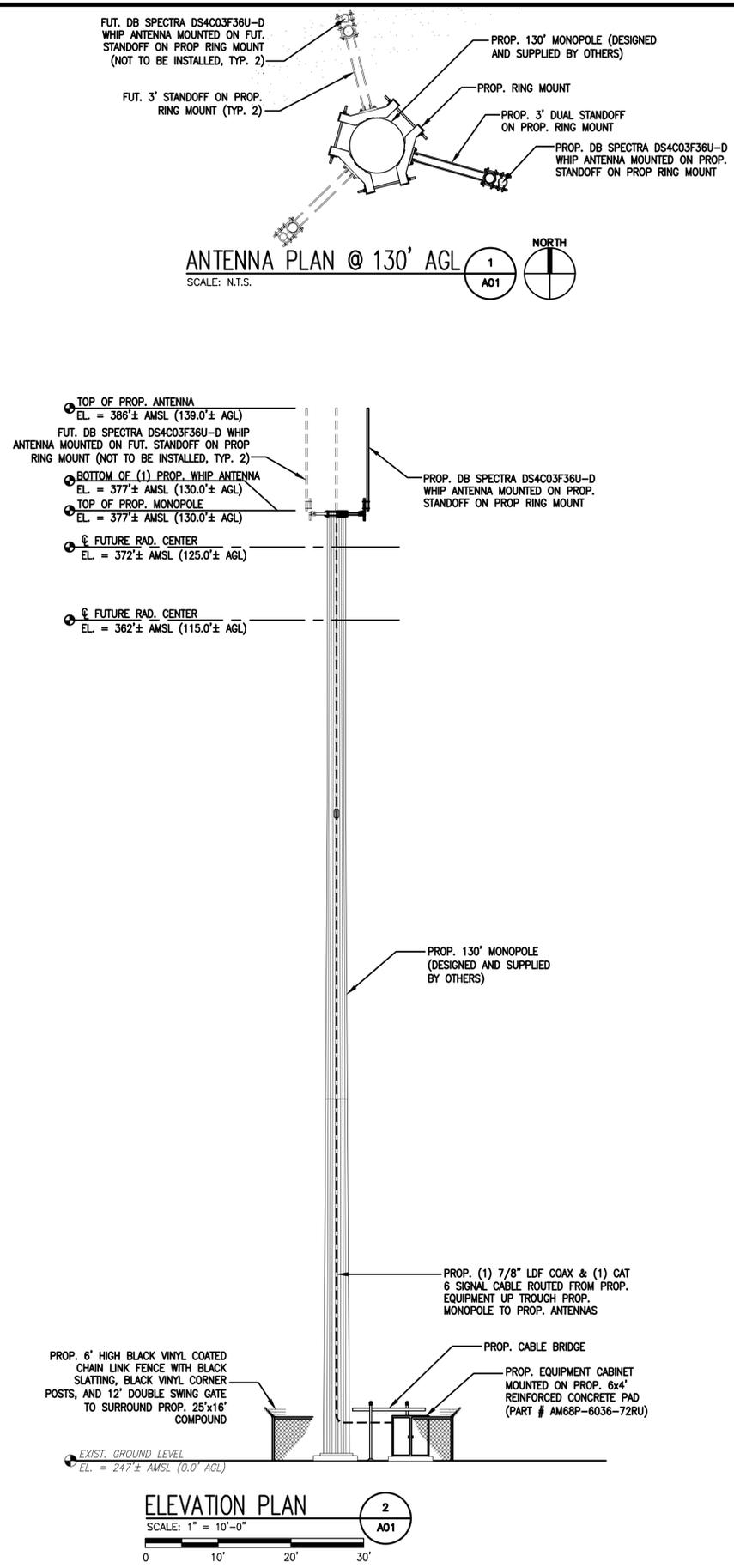
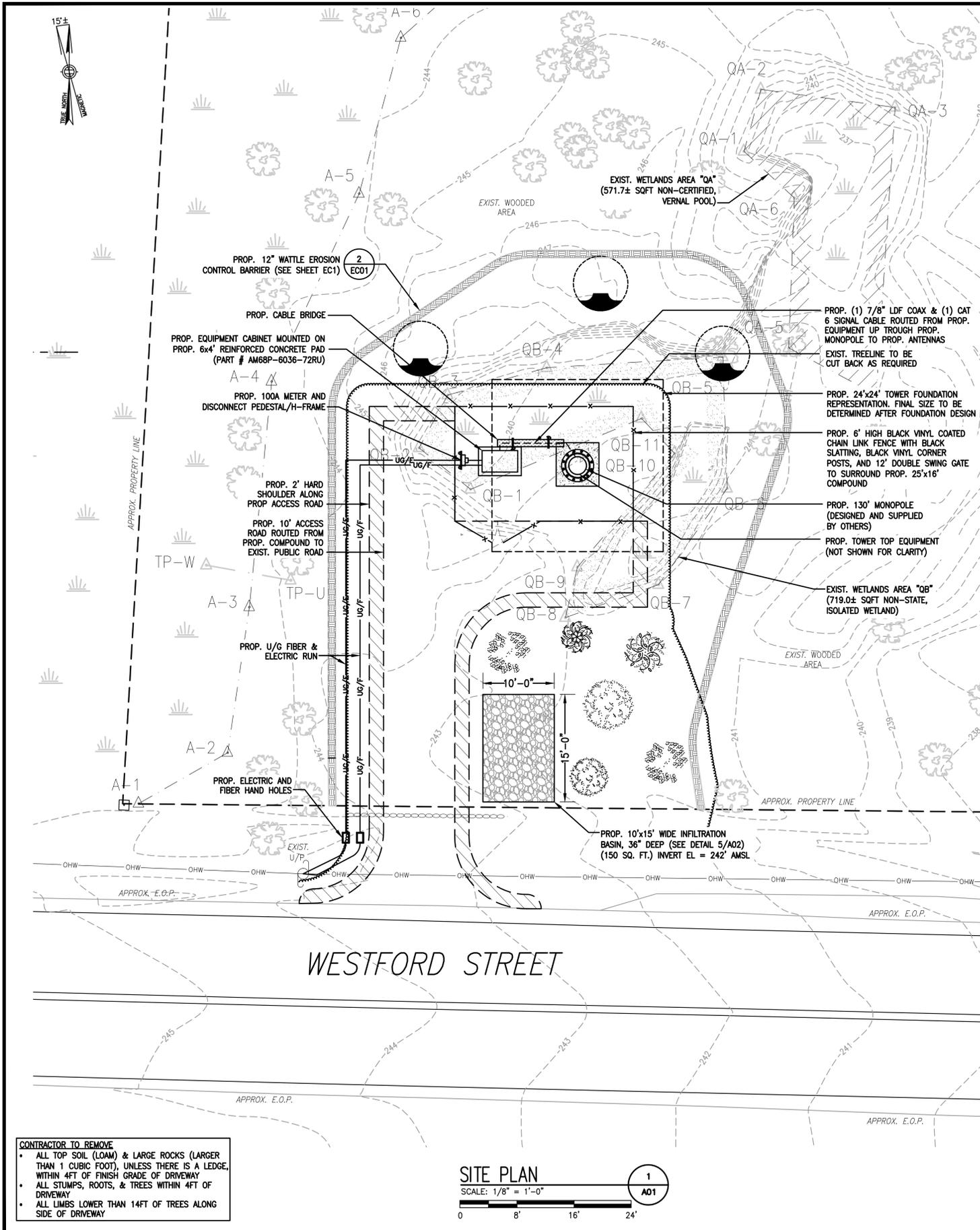
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**TOWN OF CARLISLE
1110 WESTFORD STREET
1110 WESTFORD STREET
CARLISLE, MA 01741**

DRAWING TITLE:
**TREE REMOVAL &
GRADING PLAN**

DRAWING NO:
C02

SCALE: 1" = 10'	DESIGNED BY: JMF DRAWN BY: JRV CHECK'D BY: JMF	SHEET NO. 3 OF 6
PROJECT NO. 754.100	ORIGINAL ISSUE DATE: 06/27/19	



greenmountain communications

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DAVID A. CHAPPELL
REGISTERED PROFESSIONAL ENGINEER
No. 34706

ENGINEER/LAND SURVEYOR DATE

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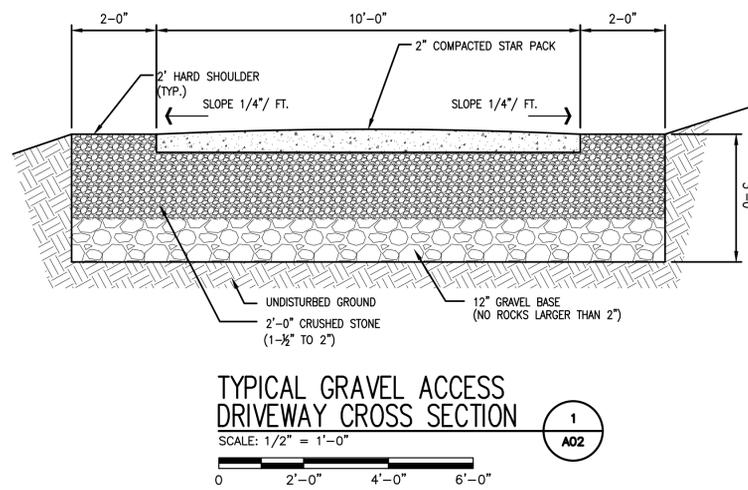
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1110 WESTFORD STREET
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CARLISLE, MA 01741**

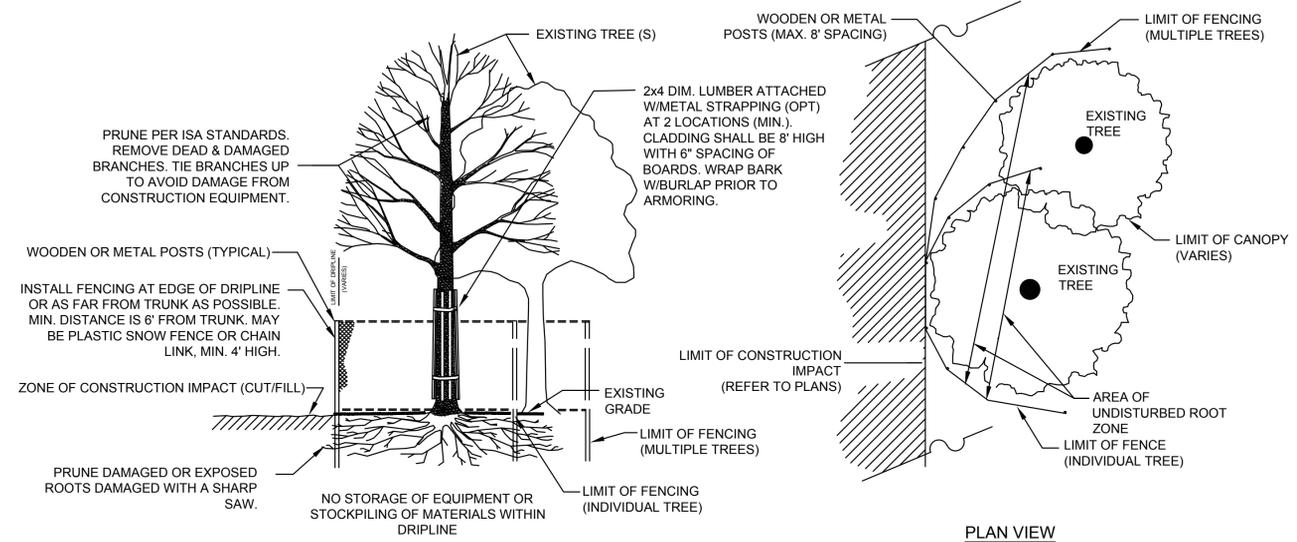
DRAWING TITLE:
SITE PLAN & ELEVATION

DRAWING NO:
A01

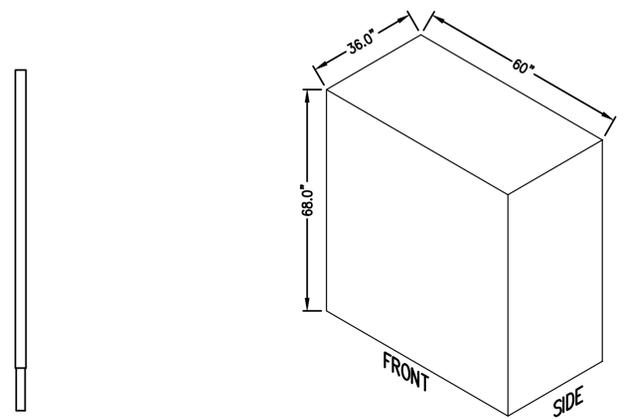
SCALE: AS SHOWN	DESIGNED BY: JMF DRAWN BY: JRV CHECK'D BY: JMF	SHEET NO. 4 OF 6
PROJECT NO. 754.100	ORIGINAL ISSUE DATE: 06/27/19	



TYPICAL GRAVEL ACCESS DRIVEWAY CROSS SECTION
SCALE: 1/2" = 1'-0"
1
A02



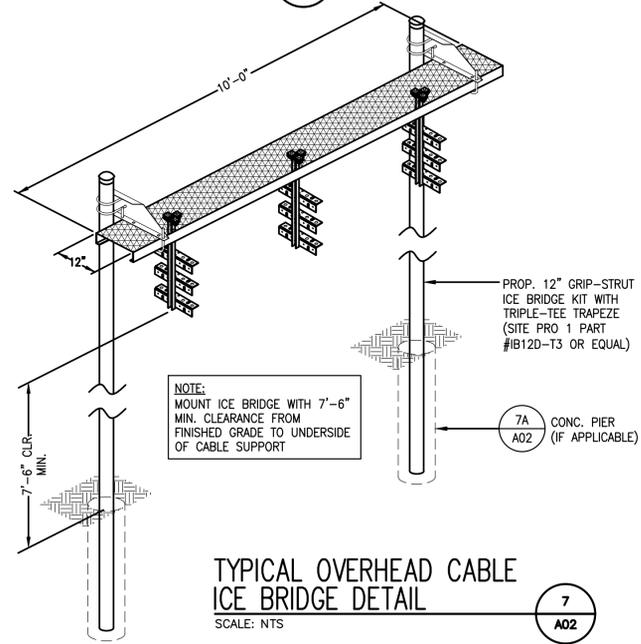
TREE PROTECTION-EXISTING TREE(S)
SCALE: NONE
PLAN VIEW



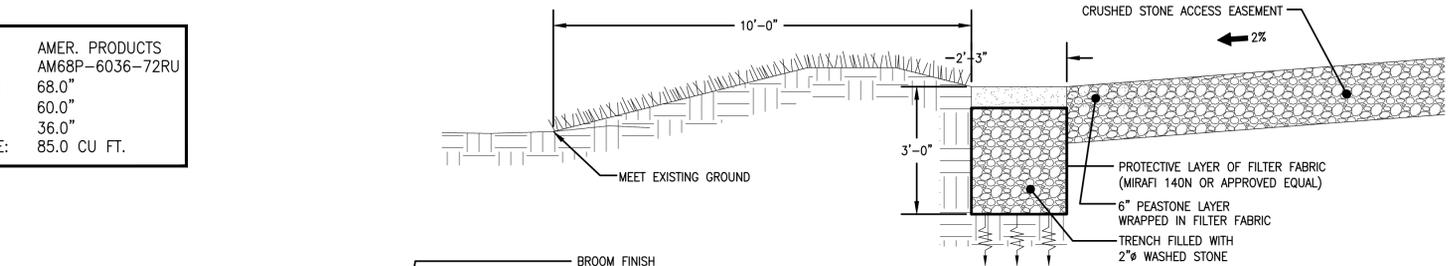
MANUF: AMER. PRODUCTS
MODEL: AM68P-6036-72RU
HEIGHT: 68.0"
WIDTH: 60.0"
DEPTH: 36.0"
VOLUME: 85.0 CU FT.

PROPOSED AMERICAN PRODUCTS 72RU OUTDOOR EQUIPMENT CABINET
SCALE: NTS
3
A02

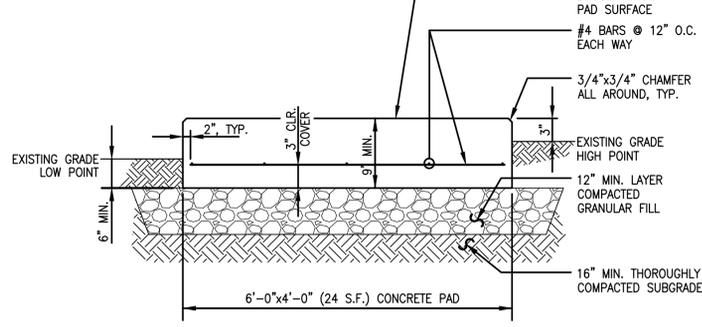
ANTENNA DETAIL
SCALE: N.T.S.
2
A02



TYPICAL OVERHEAD CABLE ICE BRIDGE DETAIL
SCALE: NTS
7
A02

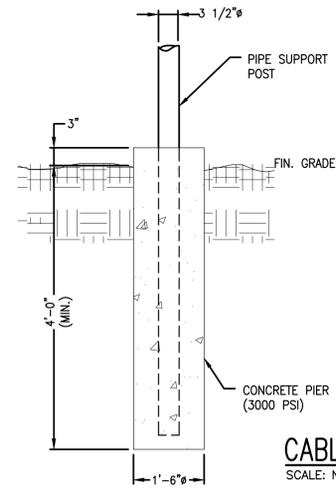


INFILTRATION TRENCH DETAIL
SCALE: N.T.S.
5
A02

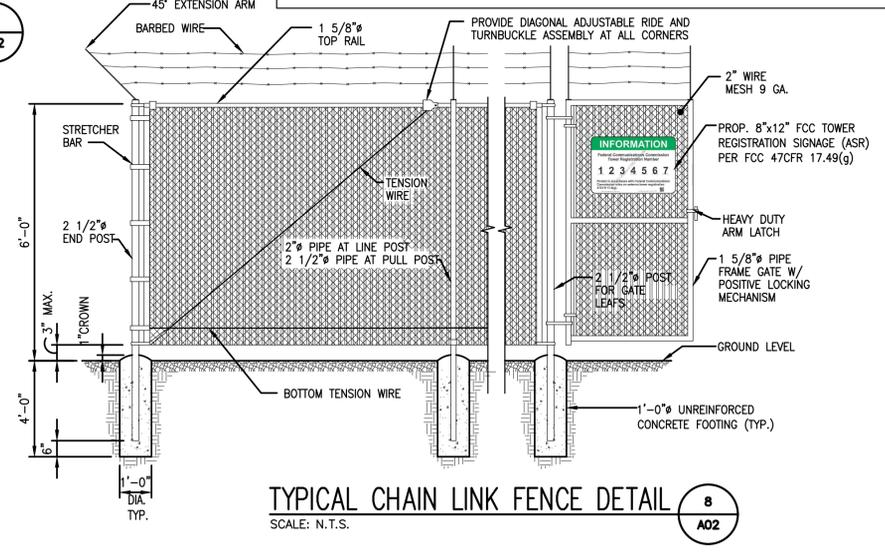


REINFORCED CONCRETE PAD DETAIL
SCALE: NONE
4
A02

- FENCING NOTES**
1. INSTALL FENCING PER ASTM F-567, SWING GATE PER ASTM F-900.
 2. ALL POSTS AND TOP RAILS SHALL BE SCHEDULE 40 PIPE PER ASTM F-1083.
 3. ALL FABRIC SHALL BE 12 GA. CORE WIRE SIZE 2" MESH CONFORMING TO ASTM A-392.
 4. TIE WIRE SHALL BE 11 GA. GALV. STEEL (MIN.) AT POSTS AND RAILS. A SINGLE WRAP FABRIC TIE AT TENSION WIRE BY HOG RINGS SPACED MAX. OF 24" INTERVALS.
 5. STEEL FENCE SYSTEM SHALL INCLUDE THE POSTS, FABRIC, GATE SYSTEM AND ALL NECESSARY ERECTION ACCESSORIES, FITTINGS AND FASTENINGS. ALL FENCE SYSTEM COMPONENTS SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A153. GATES SHALL BE SWING GATES (SEE PLAN FOR SIZES(S)).
 6. BARBED WIRE SHALL BE DOUBLE STRAND 12 1/2" O.D. TWISTED WIRE TO MATCH W/FABRIC 14 GA., 4 PT. BARBS SPACES AT APPROXIMATELY 5" O.C.
 7. COMPLY WITH LOCAL ORDINANCES OF BARBED WIRE PERMIT REQUIREMENTS, IF REQUIRED.
 8. VINYL SCREENING SLATS, CORNER POSTS, AND FENCE FABRIC SHALL BE INSTALLED ON PROPOSED FENCING (COLOR: BLACK).



CABLE BRIDGE PIER
SCALE: NTS
7A
A02



TYPICAL CHAIN LINK FENCE DETAIL
SCALE: N.T.S.
8
A02



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REVISIONS

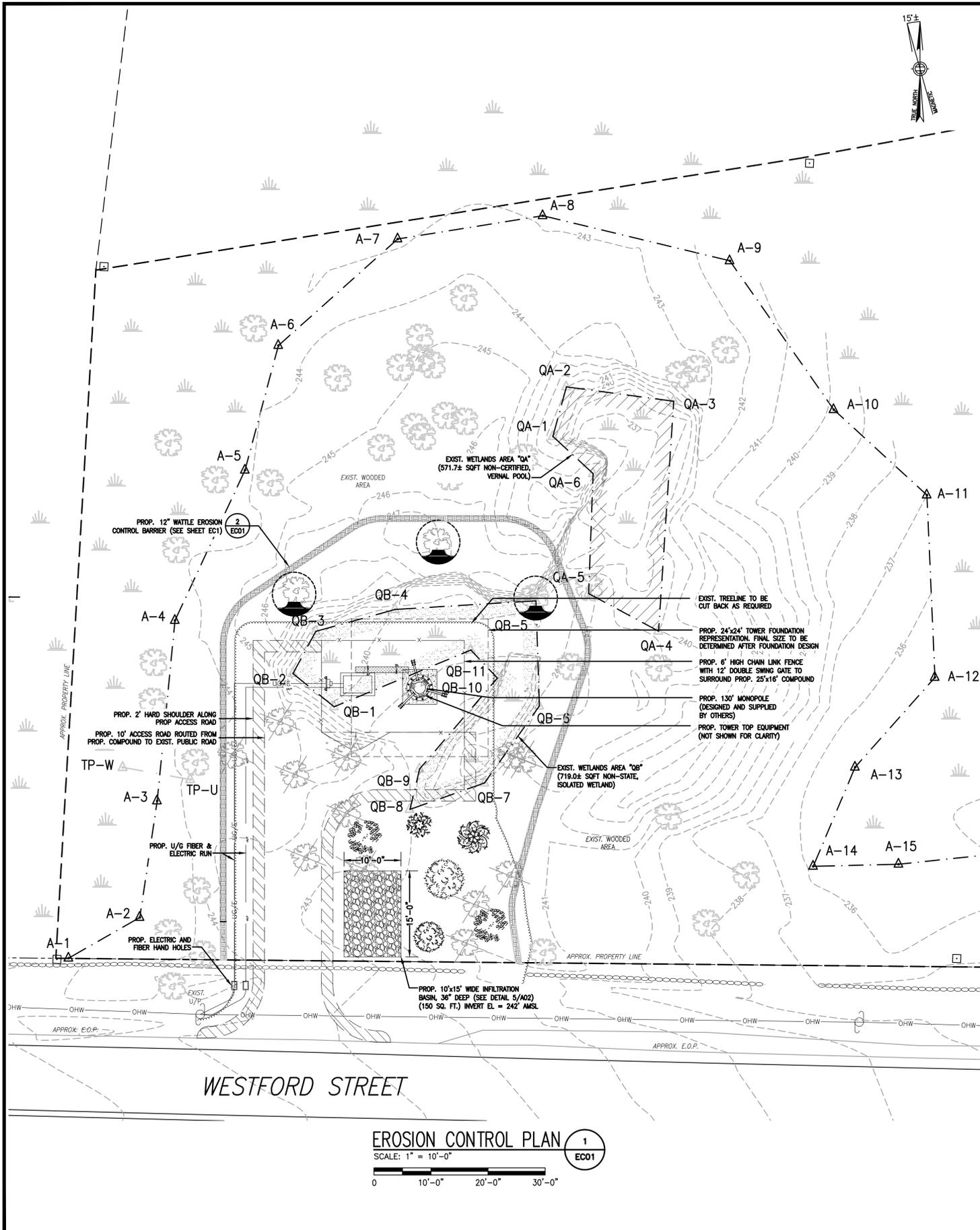
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1110 WESTFORD STREET
1110 WESTFORD STREET
CARLISLE, MA 01741

DRAWING TITLE:
ANTENNA & SITE DETAILS

DRAWING NO:
A02

SCALE: AS SHOWN	DESIGNED BY: JMF DRAWN BY: JRV CHECK'D BY: JMF	SHEET NO. 5 OF 6
PROJECT NO. 754.100	ORIGINAL ISSUE DATE: 06/27/19	



EROSION CONTROL PLAN 1
EC01
 SCALE: 1" = 10'-0"

SILTATION & EROSION CONTROL NOTES

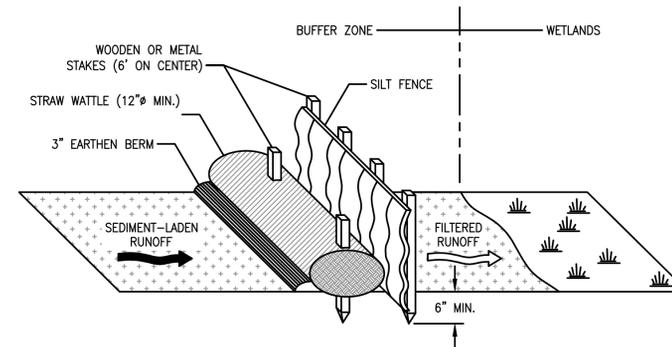
1. TEMPORARY WATTLE/SILT FENCE EROSION CONTROL BARRIER SHALL BE MAINTAINED THROUGHOUT SITE CONSTRUCTION. STOCK PILE ON SITE 50 WATTLES AND 100 FEET OF SILT FENCE FOR EMERGENCY USE. CONTRACTOR SHALL REPLACE ANY SECTION OF WATTLES OR SILT FENCES DAMAGED DURING ANY PHASE OF CONSTRUCTION. TEMPORARY EROSION BARRIERS SHALL REMAIN IN PLACE UNTIL PERMANENT VEGETATIVE GROUND COVER IS ESTABLISHED.
2. ALL DISTURBED AREAS OUTSIDE THE LIMITS OF THE LEASE AREA AND ACCESS ROADWAY SHALL BE PERMANENTLY ESTABLISH WITH VEGETATIVE GROUND COVER. GRADED AREAS SHALL BE PROTECTED WITH COMPOST MULCH UNTIL A GOOD VEGETATIVE COVER IS ESTABLISHED.
3. A STILLING BASIN SHALL BE UTILIZED FOR ANY DEWATERING DISCHARGE WHICH MAY OCCUR DURING CONSTRUCTION OPERATIONS.
4. PROPOSED CONSTRUCTION IMPACTS AND PERMANENT IMPROVEMENTS SHALL NOT SIGNIFICANTLY IMPACT STORM WATER RUNOFF PATTERNS, VOLUME OR PEAK FLOW RATES. THE FLAT GRADE OF THE EQUIPMENT COMPOUND AND STONE SURFACE WILL PROMOTE STORM WATER INFILTRATION.
5. DO NOT DISTURB VEGETATION AND TOPSOIL BEYOND THE PROPOSED LIMIT OF SILT FENCE ACTIVITIES.
6. THE CONTRACTOR SHALL REMOVE TEMPORARY SILT FENCE AND COMPOST WATTLE DIKES AND ALL ACCUMULATED SILT AND DEBRIS AFTER COMPLETION OF CONSTRUCTION OPERATIONS.

COMPOST WATTLE PLACES

1. WATTLES SHALL BE PLACED IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT WATTLES.
2. WATTLE BARRIER SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF 3".
3. WATTLES SHALL BE SECURELY ANCHORED IN PLACE BY STAKES OR REBAR DRIVEN THROUGH THE WATTLES. THE FIRST STAKE IN EACH WATTLE SHALL BE ANGLED TOWARD PREVIOUSLY PLACED WATTLE TO FORCE THE WATTLES TOGETHER.
4. INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY.

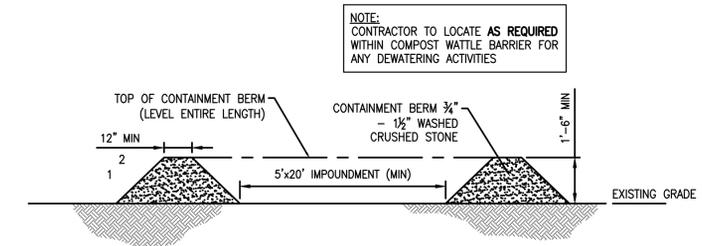
PROJECT DESCRIPTION AND ENVIRONMENTAL DATA

- A. GREEN MOUNTAIN COMM. WIRELESS PROPOSES TO CONSTRUCT A COMMUNICATIONS FACILITY CONSISTING OF A 30'-6"x45'-6" (1388 S.F.) EQUIPMENT COMPOUND CONTAINING A PROP. 9'-0"x15'-0" (135 S.F.) REINFORCED CONCRETE EQUIPMENT PAD WITH EQUIPMENT BUILDING SURROUNDED WITH 3" CRUSHED STONE SURFACE TREATMENT.
- B. THE PHASING AND SEQUENCING OF THE WORK FOR THE SITE PREPARATION FOR THE TELECOMMUNICATIONS EQUIPMENT INSTALLATION CONSISTS OF INSTALLING TEMPORARY EROSION AND SEDIMENTATION CONTROL BARRIERS; FOUNDATION WORK; EXCAVATION FOR UTILITIES; BACKFILL FOUNDATION AND UTILITY TRENCHES; INSTALLATION OF EQUIPMENT IN PROPOSED EQUIPMENT AREA; GROUNDING AND LIGHTNING PROTECTION; FINAL GRADING AND STABILIZATION OF THE EQUIPMENT AREA; LOAM AND SEED DISTURBED AREAS OUTSIDE OF THE AREA; FINAL CLEANUP AND EQUIPMENT TESTING. THE ESTIMATED TIME FOR COMPLETION OF THE WORK IS APPROXIMATELY TWELVE (12) WEEKS.
- C. THE EQUIPMENT AREA IS TO BE SURFACED WITH CRUSHED STONE UNDERLAIN BY A WEED BLOCK SYNTHETIC FILTER FABRIC. DRAINAGE PATTERNS, RUNOFF VOLUMES AND PEAK FLOW RATES WILL NOT BE ALTERED BY THE PROPOSED CONSTRUCTION. MATERIALS REMOVED FROM THE COMPOUND GRADING WILL BE TEMPORARILY STOCKPILED ON SITE IN A DESIGNATED AREA SPECIFIED BY THE LANDLORD. MATERIAL WILL BE REUSED OFF-SITE AS DETERMINED BY THE CONTRACTOR.
- D. IF REQUIRED, TEMPORARY DE-WATERING OF TRENCH EXCAVATIONS WILL BE DIVERTED INTO THE PROPOSED STILLING BASIN.
- E. PRIOR TO ANY SOIL DISTURBANCE, INSTALL ALL EROSION CONTROL BARRIERS, AT THE LIMIT OF WORK, AS PER SITE PLAN. INSPECT BARRIERS AT LEAST WEEKLY AND AFTER SIGNIFICANT (0.5 INCH OR GREATER) PRECIPITATION EVENTS. PERFORM MAINTENANCE AS REQUIRED INCLUDING REMOVAL OF ACCUMULATED SEDIMENTS (WHEN AT 50% CAPACITY) AND REPAIRS.
- F. EXCAVATE FOR FOOTINGS AND/OR SLAB AND STOCKPILE EXCESS SOIL AS DESIGNATED, AND WITHIN EROSION BARRIER, OR REMOVE FROM SITE. RE-GRADE AROUND FOOTINGS/SLAB.
- G. INSTALL PROPOSED STRUCTURE. AS SOON AS STRUCTURE IS COMPLETE SURROUNDING SOILS WILL BE STABILIZED WITHIN 14 DAYS USING CRUSHED STONE OR SIMILAR. ANY EXCESS SOIL WILL BE REMOVED FROM THE SITE.
- H. INSTALL NEW COMPOUND FENCE AND PLANTINGS AS PER PLAN.
- I. REMOVE EROSION BARRIERS.



NOTE:
 1. BURLAP/COMPOST WATTLE IS TO BE SET FIRMLY INTO GROUND WITH A 3" EARTHEN BERM ALONG THE UPSLOPE SIDE TO PREVENT DRAINAGE FROM ROUTING BENEATH THE EROSION CONTROL BARRIER.
 2. TEMPORARY MOVEABLE EROSION CONTROL BARRIER SECTION FOR EQUIPMENT ACCESS SHALL MAINTAIN PROTECTION OF RESOURCES AT ALL TIMES. SAND TUBES SHALL BE USED TO SECURE BARRIER ON PAVED SURFACES.

TYPICAL EROSION CONTROL BARRIER 2
EC01
 SCALE: N.T.S.



CROSS SECTION TEMPORARY STILLING BASIN DETAIL 3
EC01
 SCALE: 3/8" = 1'-0"



702 RIVERWOOD DRIVE
 PEMBROKE, NH 03275



R.K. EXECUTIVE CENTRE
 201 BOSTON POST ROAD WEST
 SUITE 101
 MARLBOROUGH, MA 01752
 (508) 481-7400
 www.chappellengineering.com



ENGINEER/LAND SURVEYOR DATE

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

REVISIONS

NO.	DESCRIPTION	DATE
A	ISSUED FOR REVIEW	06/27/19
0	ISSUED FOR PERMITTING	07/01/19
1	ISSUED FOR SUBMISSION	07/02/19
2	ISSUED FOR SUBMISSION	07/23/19

PROJECT NAME:
TOWN OF CARLISLE
1110 WESTFORD STREET
 1110 WESTFORD STREET
 CARLISLE, MA 01741

DRAWING TITLE:
EROSION CONTROL PLAN,
DETAILS & NOTES

DRAWING NO:
EC01

SCALE: AS SHOWN	DESIGNED BY: JMF DRAWN BY: JRV CHECK'D BY: JMF	SHEET NO. 6 OF 6
PROJECT NO. 754.100	ORIGINAL ISSUE DATE: 06/27/19	